



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 12-132747-GC
Project Name/Address: Bellefield Office Park Parking Lot Repair
1715 114th Ave SE
Planner: David Pyle / dpyle@bellevuewa.gov
Phone Number: 425-452-2973

Minimum Comment Period: January 17, 2013

Materials included in this Notice:

- ☒ Blue Bulletin
- ☒ Checklist
- ☒ Vicinity Map
- ☒ Plans
- ☐ Other:

Bellefield Office Park Parking Lot Repair – COB File # 12-132747-GC

1715 114th Ave SE



City of Bellevue Submittal Requirements	27
ENVIRONMENTAL CHECKLIST	
12/21/00	
<i>Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.</i>	
INTRODUCTION	
Purpose of the Checklist:	
<p>The State Environmental Policy Act (SEPA), chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.</p>	
Instructions for Applicants:	
<p>This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.</p>	
<p>Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you. The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include references to any reports or studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.</p>	
Use of a Checklist for Nonproject Proposals: <i>A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.</i>	
<p>For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.</p>	
<p>For nonproject actions, the references in the checklist to the words <i>project</i>, <i>applicant</i>, and <i>property</i> or <i>site</i> should be read as <i>proposal</i>, <i>proposer</i>, and <i>affected geographic area</i>, respectively.</p>	
Attach an 8½" x 11" vicinity map which accurately locates the proposed site.	

City of Bellevue Submittal Requirements	27a
ENVIRONMENTAL CHECKLIST	
12/21/00	
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BACKGROUND INFORMATION	
<p>Property Owner: Talon Portfolio Services, LLC, a Washington limited liability company, as General Receiver for W2007 Seattle Office Bellefield Office Park Realty, LLC, a Delaware limited liability company, King County Case No. 12-2-21253-8-SEA</p> <p>Proponent: Charlie Foushee Talon Portfolio Services, LLC 1800 Ninth Avenue, Suite 1600 Seattle, WA 98101</p> <p>Contact Person: Kenny Booth, The Watershed Company (If different from the owner. All questions and correspondence will be directed to the individual listed.)</p> <p>Address: 750 Sixth Street South, Kirkland, WA 98033</p> <p>Phone: (425) 822-5242</p>	
<p>Proposal Title: Bellefield Parking Lot Maintenance</p> <p>Proposal Location (Street address and nearest cross street or intersection) Provide a legal description if available:</p> <p>Street Address: 1715 114th Avenue SE Bellevue, WA 98006</p> <p>Parcel: 0662880030</p> <p>Legal Description: BELLEFIELD OFFICE PARK - BSP TGW UND INT IN TRACT A THRU J</p> <p>Please attach an 8½" X 11" vicinity map that accurately locates the proposal site. See last page.</p>	
<p>Give an accurate, brief description of the proposal's scope and nature:</p> <p>General description: The proposed project includes the placement of hog fuel on top of areas of existing pavement within the parking lot at the Bellefield Office Park. A new layer of pavement would then be placed over the hog fuel. Additionally, three small areas of existing paved parking will be removed from the site, including removal of the pavement and subgrade and replacement with topsoil and native plantings.</p> <p>The existing site condition at the office park includes standing water in some parking areas throughout</p>	

various times of the year. The standing water results from a high water table and a continued settling of the entire 'island' upon which the office park is located. Similar pavement maintenance measures have occurred in the past in an effort to reclaim parking areas and drive aisles.

Under the existing proposal a total of 42,849 square feet would be raised through the addition of hog fuel and then repaved while an additional approximate 5,255 square feet would be restored with pavement removal, top soil placement and native plantings. A total of 35 parking spaces would be lost under the proposal.

1. Acreage of site: **The entire parcel is 535,788 (12.3 acres)**
2. Number of dwelling units/buildings to be demolished: **None.**
3. Number of dwelling units/buildings to be constructed: **None.**
4. Square footage of buildings to be demolished: **None.**
5. Square footage of buildings to be constructed: **None.**
6. Quantity of earth movement (in cubic yards): **100 cy cut / 1,590 cy fill**
7. Proposed land use: **No changes are proposed to the existing land use.**
8. Design features, including building height, number of stories, and proposed exterior materials: **Not applicable.**
10. Other

Estimated date of completion of the proposal or timing of phasing:

It is anticipated that construction activities would begin in late January 2013 and conclude sometime in February or March 2013.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

None at this time.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

-Talon Bellefield Office Park Property – Wetland Delineation Study. The Watershed Company. September 4, 2012.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

No other applications are pending for government approvals of other proposals directly affecting

the subject property.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Clearing and Grading Permit (GH) – submitted concurrently with this SEPA Checklist

Please provide one or more of the following exhibits, if applicable to your proposal.
(Please check appropriate box(es) for exhibits submitted with your proposal):

- ☐ Land Use Reclassification (rezone)
Map of existing and proposed zoning
- ☐ Preliminary Plat or Planned Unit Development
Preliminary plat map
- ☐ Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- ☒ Building Permit (or Design Review)
Site plan
Clearing & grading plan
- ☐ Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. EARTH

- a. General description of the site (circle one): **Flat** Rolling Hilly Steep slopes Mountains Other:
- b. What is the steepest slope on the site (approximate percent slope)?

The site is essentially flat.

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

According to Natural Resources Conservation Service (NRCS) soil maps, the project site is comprised of Seattle muck.

The geotechnical report indicates the presence of loose, dark brown to black, silty sand and gravel, fine to coarse; wet; gravel and sand are angular.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

On-site soils have shown a propensity to settle and subside.

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

All proposed cut and fill activities are associated with maintaining the affected parking areas and converting some areas of parking to a vegetated condition.

	Cut (CY)	Fill (CY)
Hog Fuel	---	1,430
Crushed Rock	---	120
Pavement	---	40
Existing pavement/subgrade	100	---
Total	100 CY	1,590 CY

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion could occur if exposed soils are mobilized by rainfall. Short-term erosion may occur in limited areas cleared of pavement. However, any impacts would be short-term and the measures described below would help minimize erosion.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Total impervious surfaces will decrease by approximately 5,255 square feet.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

All clearing and grading construction would be in accordance with City of Bellevue Clearing & Grading Code (Chapter 23.76), permit conditions, and all other applicable codes, ordinances, and standards. As needed, the applicant will install temporary erosion and sedimentation control measures such as silt fencing. A silt fence would be installed around exposed soils as necessary to prevent silt-laden water from leaving the site during rainfall events.

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Emissions from vehicle trips and construction equipment would occur for a short period of time during site construction. After project completion, emissions to the air would return to the level currently occurring as part of office park operations.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No off-site sources of emissions or odor would affect the proposal.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Vehicles and construction equipment would be kept in good working order.

3. WATER

- a. Surface:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Upwards of 28 wetlands are located on the project site. Additionally, the site is adjacent to the Mercer Slough. For further details, see the Talon Bellefield Wetland Delineation Report prepared by The Watershed Company (September 12, 2012).

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

The entirety of the proposed project will occur within 200 feet of on-site wetlands and/or the Mercer Slough. In areas of pavement removal adjacent to wetlands, a geotextile 'MSE' wall will be constructed so that no filling occurs in the wetland.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No excavation or fill will occur within wetland areas.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

The proposal would not require surface water withdrawals or diversions.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

The proposed activities do not lie within a mapped 100-year floodplain.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

The proposal does not involve any discharges of waste materials to surface waters.

b. Ground

1. Will ground water be withdrawn, or will water be discharged to ground water? Give a general description, purpose, and approximate quantities if known.

No withdrawal of ground water or discharge of water to ground water would occur as part of this project.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No waste material from septic tanks or other sources would be discharged into the ground as part of this project.

c. Water runoff (including stormwater):

1. Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

No change in on-site runoff patterns or drainage facilities is proposed.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

Waste materials would not enter ground or surface waters.

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

The erosion control measures described under question 1h would be implemented as necessary.

4. PLANTS

- a. Check or circle types of vegetation found on the site:

- ☒ deciduous tree: alder, maple, aspen, other
☒ evergreen tree: fir, cedar, pine, other

- ☒ shrub: salmonberry, twinberry, hardhack spirea
- ☐ pasture
- ☐ crop or grain
- ☒ wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other: soft rush, small bedstraw, spike rush
- ☐ water plants: water lily, eelgrass, milfoil, other
- ☒ other types of vegetation: grass

For a detailed list of vegetation found on the site, please see the Talon Bellefield Wetland Delineation Report prepared by The Watershed Company (September 12, 2012).

- b. What kind and amount of vegetation will be removed or altered?

No existing vegetation will be removed as part of the proposed project.

- c. List threatened or endangered species known to be on or near the site.

No threatened or endangered plant species are known to be on or near the site.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The proposal involves the planting of approximately 5,255 square feet of native vegetation on the project site. Proposed plantings will include native trees, shrubs, and groundcover.

5. ANIMALS

- a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other

- b. List any threatened or endangered species known to be on or near the site.

Adult and juvenile chinook salmon and steelhead trout (listed as Threatened under the Federal Endangered Species Act) migrate through Lake Washington and into the Mercer Slough. Adults migrate upstream to reach spawning grounds; juveniles migrate downstream from their natal streams to reach the ocean. Lake Washington and Mercer Slough also contains coho salmon (Species of Concern under the Federal Endangered Species Act). Lake Washington and Mercer Slough potentially contains bull trout, a salmonid listed as Threatened under the Federal Endangered Species Act.

- c. Is the site part of a migration route? If so, explain.

As described above, adult and juvenile salmon migrate up and downstream, respectively, through Mercer Slough. Migrating waterfowl may use the slough as resting and foraging areas during spring and fall migrations.

- d. Proposed measures to preserve or enhance wildlife, if any:

The proposed project will enhance wildlife habitat through the installation of approximately 5,255 square feet of native plantings adjacent to areas of wetlands.

6. ENERGY AND NATURAL RESOURCES

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

There is no proposed change in the existing forms of energy currently used for the office park.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

The project would not affect the potential use of solar energy by adjacent properties.

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

No changes to energy features are proposed.

7. ENVIRONMENTAL HEALTH

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

Typical hazards related to heavy equipment fuels and fires are associated with construction of the proposed project. After project completion, hazards would consist of those related to the normal operation of the office park.

- 1) Describe special emergency services that might be required.

Emergency services are not anticipated at the site. In the unlikely event that an accident (spill, fire, other exposure) occurs involving toxic chemicals or hazardous wastes, the local Fire Department's Hazardous Materials Team would respond. If necessary, local medical services might also be required. The full range of safety and accident response supplies would be on-site to treat any emergency during construction. After project completion, emergency services would only be necessary as dictated by the operation of the office park.

- 2) Proposed measures to reduce or control environmental health hazards, if any:

Standard precautions would be taken to ensure the safety of the work crew. The construction manager would be contacted by a crew member immediately upon discovery of a spill. The construction manager would then ensure that the spill is cleaned up in the manner dictated by the chemical use instructions and would contact the appropriate authorities.

- b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Typical noise associated with adjacent traffic exists in the project area.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Noise associated with project construction would be restricted to use of excavating and hauling equipment. Construction noise would be limited to normal daytime working hours. There would be no long-term noise associated with the completed project, other than that associated with typical operation of the office park.

- 3) Proposed measures to reduce or control noise impacts, if any:

As mentioned above, construction noise would be limited to daylight weekday hours. No other noise-control measures are necessary.

8. LAND AND SHORELINE USE

- a. What is the current use of the site and adjacent properties?

The current use of the site is an office park. The office park extends to the north, while residential uses are located west of the site, and open spaces are located south and east of the site.

- b. Has the site been used for agriculture? If so, describe.

The site has not been used for agriculture.

- c. Describe any structures on the site.

The project site includes multiple office buildings within the Bellefield Office Park. No new structures or changes to existing structures are proposed.

- d. Will any structures be demolished? If so, what?

No structures will be demolished.

- e. What is the current zoning classification of the site?

The current zoning classification is O (Office).

- f. What is the current comprehensive plan designation of the site?

The current comprehensive plan designation is O (Office).

- g. If applicable, what is the current shoreline master program designation of the site?

Unclassified.

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

The on-site wetlands and the Mercer Slough have been classified as "environmentally sensitive" areas. Additionally, the Mercer Slough is within the mapped 100-year floodplain.

- i. Approximately how many people would reside or work in the completed project?

The is no proposed change in the number of people who will work in the office park.

- j. Approximately how many people would the completed project displace?

No people would be displaced as a result of this project.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

No measures are necessary.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

This project does not affect existing land use.

9. HOUSING

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None.

- c. Proposed measures to reduce or control housing impacts, if any:

No measures are necessary.

10. AESTHETICS

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

No new structures are proposed.

- b. What views in the immediate vicinity would be altered or obstructed?

Views will not be affected by the proposed project.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

No such measures are necessary.

11. LIGHT AND GLARE

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Light or glare will not be produced by the finished project.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.

- c. What existing off-site sources of light or glare may affect your proposal?

None.

- d. Proposed measures to reduce or control light and glare impacts, if any:

No reduction measures are necessary.

12. RECREATION

- a. What designated and informal recreational opportunities are in the immediate vicinity?

The Mercer Slough Nature Park is located just east of the project site and offers nature walking, wildlife viewing, and kayaking.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

The proposed project would not displace any existing recreational uses.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

No such measures are necessary.

13. HISTORIC AND CULTURAL PRESERVATION

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

No such places or objects are known to be on or next to the site.

- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site.

No such landmarks or evidence is known to be on or next to the site.

- c. Proposed measures to reduce or control impacts, if any:

Should historic, archeological, scientific or culturally significant items be encountered during implementation of this project, work would be temporarily stopped while the appropriate agencies are notified.

14. TRANSPORTATION

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

The property takes access from 112th Avenue SE via NE 15th Street. Site access would not be changed as a result of the proposed project.

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

The nearest King County Metro transit stop is located at the entrance to the office park (corner of 112th Avenue SE and NE 15th Street).

- c. How many parking spaces would the completed project have? How many would the project eliminate?

A total of 35 parking spaces will be eliminated under the proposal. Total required parking spaces for Lot 3 is 402 per City of Bellevue requirements. 466 parking spaces exist today.

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

The proposal would not require any new roads or streets, or improvements to existing roads or streets.

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

Water, rail, or air transportation would not be utilized by the completed project.

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

Traffic generation would not change as result of the proposed project.

- g. Proposed measures to reduce or control transportation impacts, if any:

No such measures are necessary.

15. PUBLIC SERVICES

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

No increase in public service needs would result from this project.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

No such measures are necessary.

16. UTILITIES

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

No new utilities, beyond those available at the office park, are proposed as part of the project.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

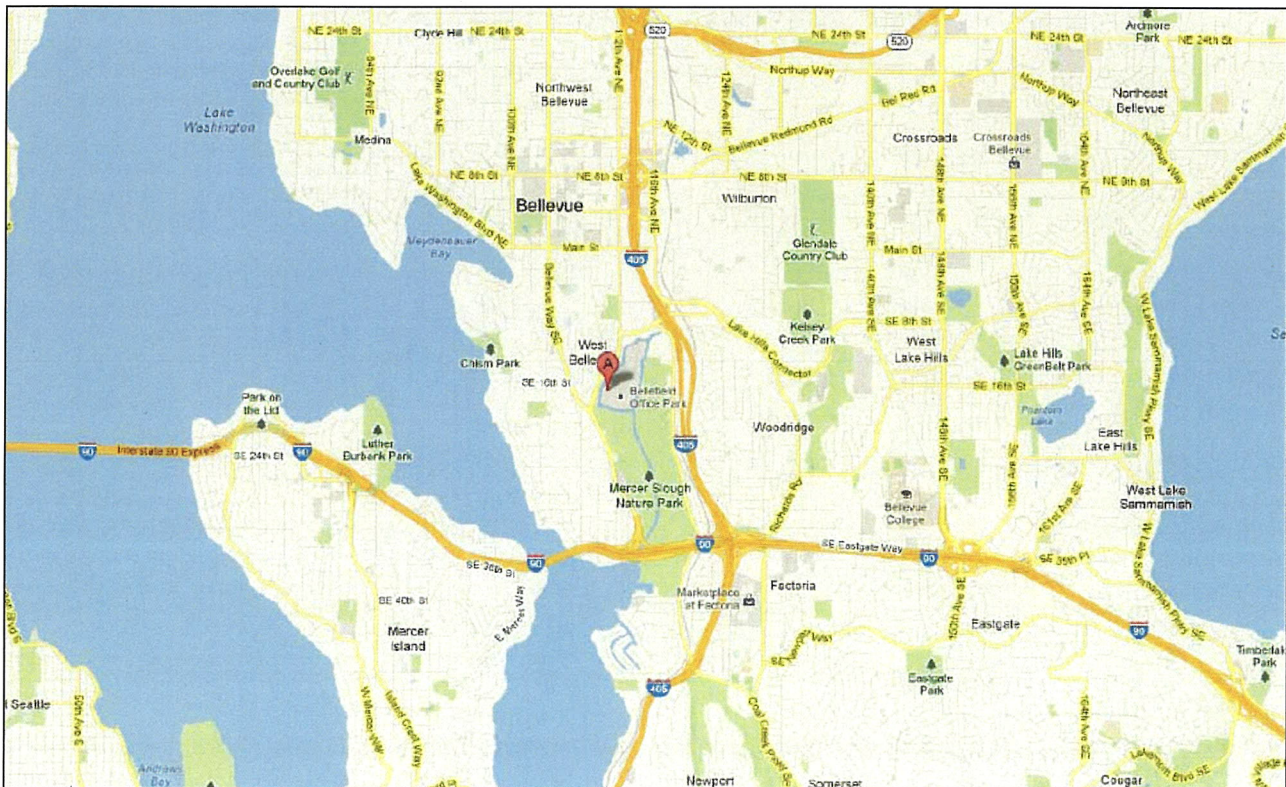
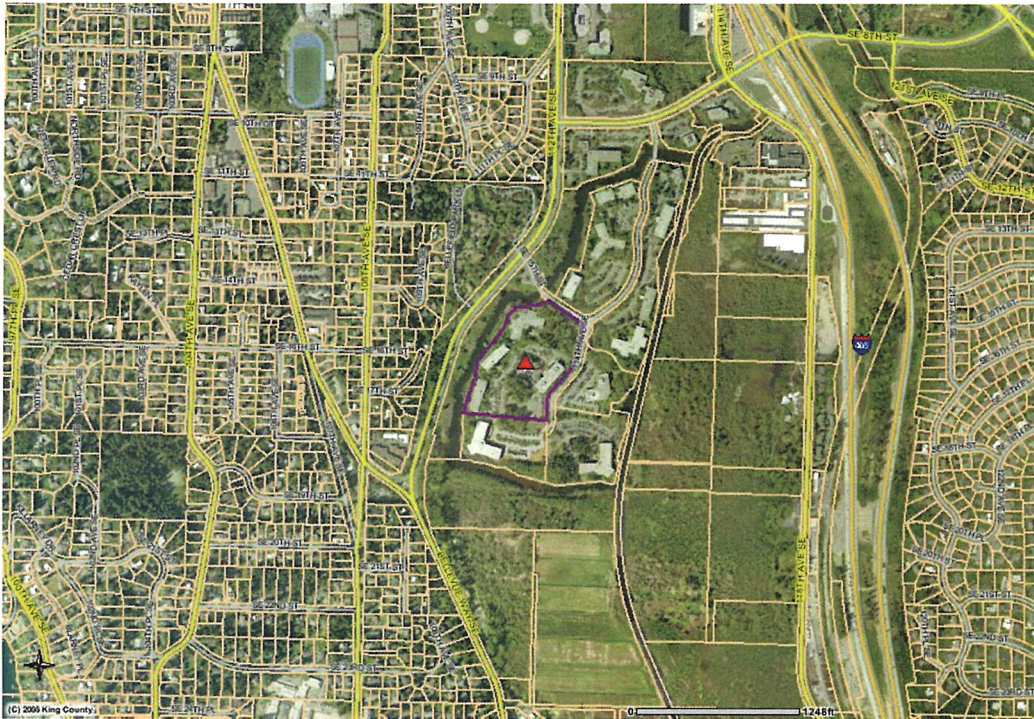
Signature

A handwritten signature in black ink, appearing to read "Kenny Booth", written over a horizontal line.

Kenny Booth, AICP
Associate Planner

Date Submitted: December 21, 2012

Vicinity Map from iMAP (top) Google Maps (below)



911 Western Ave,
suite 301
Seattle, WA. 98104
ph 206.403.0933

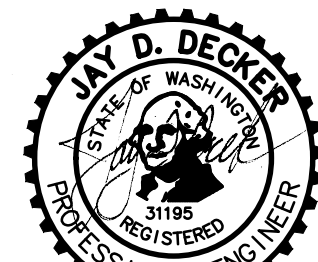


TALON PRIVATE CAPITAL, LLC.
CLEARING & GRADING PLAN
COVER

DRAWING FILE NAME:
2012023 PLAN SET

PROJECT NO.
2012023

SCALE:
1" = 10'



12/20/2012

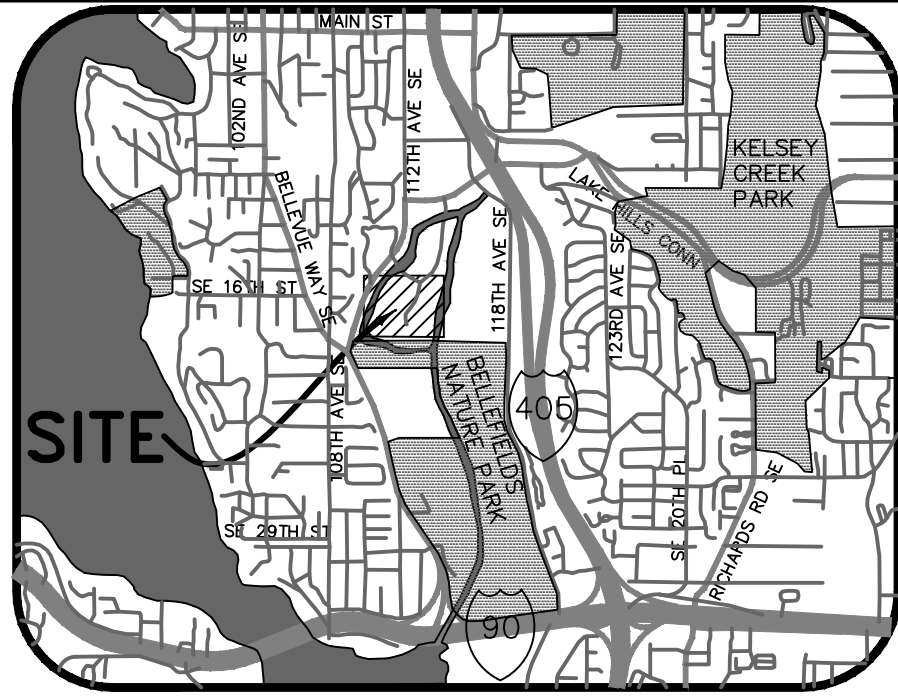
DESIGNED BY: DRAWN BY: LAST EDIT:	CHECKED BY: APPROVED BY: PLOT DATE:	JDD JDD	C/K/D (APPR.)						
DATE	BY	REV#	REVISION						

SHEET

C1.0



Call 2 Working Days Before You Dig
1-800-424-5555
Utilities Underground Location Center
(D.M.T.N.D.OR.WA)



VICINITY MAP
NOT TO SCALE

ARCHITECT

JPC ARCHITECTS
909 112TH AVE NE, SUITE 206
BELLEVUE, WA. 98004
CONTACT: JASON ANDERSEN
425-641-9200 EXT - 370

DEVELOPER

TALON PRIVATE CAPITAL LLC
1800 NINTH AVE, SUITE 1600
SEATTLE, WA. 98101
CONTACT: CHARLIE FOUSHEE
206-607-2572

SURVEYOR

GEODIMENSIONS INC
10801 MAIN STREET, SUITE 102
BELLEVUE, WA. 98104
CONTACT: KEN GREEN
425-458-4488

ENGINEER

DECKER CONSULTING
ENGINEERS
911 WESTERN AVE. SUITE 301
SEATTLE, WA 98104
CONTACT: JAY DECKER
PHONE: (206) 403-0933

HORIZONTAL BENCHMARK

UNKNOWN

SHEET INDEX

COVER SHEET C1.0
GRADING PLAN C1.1
TEMP. EROSION & SEDIMENTATION CONTROL PLAN C1.2

VERTICAL BENCHMARK

UNKNOWN

SITE ADDRESS

1687 114TH AVE. SE
BELLEVUE, WA

DATUM

NAVD 88

GEOTECHNICAL NOTES:

THE PROJECT GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE MUST BE ONSITE DURING CRITICAL EARTHWORK OPERATIONS. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL EXCAVATIONS AND FILL AREAS. IN ADDITION, THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SOIL CUTS PRIOR TO CONSTRUCTION OF THE ROCKERIES AND INSPECT THE COMPACTION IN FILL AREAS. THE GEOTECHNICAL ENGINEER MUST SUBMIT FIELD REPORTS IN WRITING TO THE PCD INSPECTOR FOR SOILS VERIFICATION AND FOUNDATION CONSTRUCTION. ALL EARTHWORK SHOULD BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

THE GEOTECHNICAL ENGINEER MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE FOLLOWING CONSTRUCTION STAGES MUST BE INSPECTED, MONITORED, AND TESTED AS NECESSARY BY THE GEOTECHNICAL ENGINEER OF RECORD:

1. SITE CLEARING AND STRIPPING OF ORGANIC TOPSOIL FOR ALL AREAS TO RECEIVE STRUCTURAL FILL, PAVEMENTS, OR FOUNDATIONS.
2. CUT SLOPES OVER FOUR FEET HIGH.
3. BENCHING FOR FILL TO BE PLACED ON SLOPES.
4. INSPECTION OF PROPOSED IMPORT FILL MATERIAL, PRIOR TO PLACEMENT.
5. PLACEMENT OF STRUCTURAL FILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
6. SUBGRADES FOR RETAINING WALLS, FOUNDATIONS, AND FOR THE BASE OF ROCKERIES.
7. INSTALLATION OF SUBSURFACE DRAINAGE FACILITIES.
8. UTILITY TRENCH BEDDING AND BACKFILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
9. UTILITIES ON STEEP SLOPES; SLOPE ANCHORS AND/OR BACKFILL SLOPE STABILIZATION.
10. ANY UNUSUAL SEEPAGE, SLOPE, OR SUBGRADE CONDITION AS DELINEATED IN THE GEOTECHNICAL REPORT OR DISCOVERED IN THE FIELD.

AT THE END OF THE CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SUMMARY LETTER VERIFYING THAT CRITICAL STAGES OF THE CONSTRUCTION HAVE BEEN INSPECTED AND ARE IN CONFORMANCE WITH GEOTECHNICAL REPORT.

UTILITY PROVIDERS

NATURAL GAS:
PUGET SOUND ENERGY
13230 SE 32ND STREET BELLEVUE, WA 98005
CONTACT: MYLISSA TYKZINSKI
PHONE: (206) 454-6363, EXT. 816224

TELEPHONE:
QWEST
14808 SE 16TH STREET BELLEVUE, WA. 98007
CONTACT: AARON WILLIAMS
PHONE: (206) 345-3961

STREET LIGHTING/SIGNAL:
CITY OF BELLEVUE TRANSPORTATION
DEPARTMENT
301 116TH AVENUE SE #150 BELLEVUE, WA 98004
CONTACT:
PHONE: (425) 452-6011

STORM DRAINAGE:
CITY OF BELLEVUE DEPARTMENT OF
COMMUNITY DEVELOPMENT
11511 MAIN STREET BELLEVUE, WA 98009-9012
PHONE: (425) 452-6864

POWER:

PUGET SOUND ENERGY
13230 SE 32ND STREET BELLEVUE, WA 98005
CONTACT: MYLISSA TYKZINSKI
PHONE: (206) 454-6363, EXT. 816224

CLEARING &
GRADING: _ _ _ _ _ GD

BELLEFIELD OFFICE COMPLEX - 2013 PAVEMENT REPAIR

SW 1/4 SEC 21, TWP 27N, RGE 4E, W.M.

GENERAL ENGINEERING NOTES

1. EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS, OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR THE OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING. (WSDOT SEC 1-04.7).
3. THE CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE INDIVIDUAL NOTICE TO THAT UTILITY. (WSDOT SEC. 1-07.17 AWP/ SUPPLEMENT.).
4. THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS AND EXERCISE SOUND ENGINEERING AND CONSTRUCTION PRACTICES IN CONDUCTING THE WORK. THE CONTRACTOR SHALL PROTECT EXISTING PUBLIC AND PRIVATE UTILITIES FROM DAMAGE DURING CONSTRUCTION. IF EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ENGINEER. THE CONTRACTOR SHALL RESTORE THE UTILITY TO ITS EXISTING CONDITION. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT.) THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION FOR DESIGNS SHOWN ON THESE PLANS.
5. WHERE THE PLANS CALL FOR UTILITIES TO BE RELOCATED BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AND COORDINATE HIS WORK SO AS TO AVOID CONFLICTS.
6. ALL EXCAVATION, TRENCHING, SUBGRADE PREPARATION, FILL PLACEMENT AND COMPACTION AND ALL SOIL WORK IN GENERAL SHALL BE CONDUCTED IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PROJECT SOIL ENGINEER AND THE CURRENT GEOTECHNICAL ENGINEERING REPORT.
7. ENGINEERING DESIGN AND APPROVAL FOR STRUCTURES SUCH AS WALLS AND VAULTS MUST BE PREPARED BY THE APPROPRIATE PROFESSIONAL ENGINEER AND IS NOT A PART OF THESE PLANS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A PROFESSIONAL LAND SURVEYOR TO REFERENCE EXISTING MONUMENTS ON OR ADJOINING THE SITE PRIOR TO DEMOLITION OR CONSTRUCTION AND TO RE-ESTABLISH SAID POINTS AT PROJECT COMPLETION. THIS RE-ESTABLISHMENT SHALL BE DOCUMENTED BY RECORD OF SURVEY OR CORNER RECORD AS DESCRIBED IN W.A.C. 332-120.
9. A SUBCONTRACTOR SPECIALIZING IN OIL TANK REMOVAL WILL BE HIRED TO REMOVE THE EXISTING ON-SITE OIL TANKS AND ADDRESS ANY CONTAMINATED SOILS OR GROUNDWATER. IF CONTAMINATED SOILS OR GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR WILL NOTIFY THE CITY OF BELLEVUE AND APPLY FOR A PERMIT UNDER THE VOLUNTARY CLEANUP PROGRAM, FROM THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, TO CLEANUP THE CONTAMINATION. CONTAMINATED SOILS WOULD BE EXPORTED TO AN ECOLOGY APPROVED WASTE SITE AS HANDLED BY THE CONTRACTOR. CONTAMINATED GROUNDWATER WOULD BE DISCHARGED TO THE SANITARY SEWER AS APPROVED BY THE CITY OF BELLEVUE AND METRO OR REMOVED BY A HAZARDOUS WASTE HANDLING COMPANY.

MOBILIZATION/STOCKPILE AREA NOTES:

ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE PCD INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.

STREET SWEEPING NOTE:

CONTRACTOR SHALL IMMEDIATELY SWEEP THE PAVED CITY RIGHT-OF-WAY WHEN DIRT OR OTHER CONSTRUCTION RELATED DEBRIS IS DEPOSITED.

DUST SUPPRESSION:

DUST FROM CLEARING, GRADING, AND OTHER CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED AT ALL TIMES. ANY DUST SUPPRESSANTS USED SHALL BE APPROVED BY THE DIRECTOR. PETROCHEMICAL DUST SUPPRESSANTS ARE PROHIBITED. WATERING THE SITE TO SUPPRESS DUST IS ALSO PROHIBITED UNLESS IT CAN BE DONE IN A WAY THAT KEEPS SEDIMENT OUT OF THE PUBLIC DRAINAGE SYSTEM.

DESIGN CHANGES AFTER PERMIT ISSUANCE:

IF UTILITIES DESIGN CHANGES RESULT IN CHANGES TO THE CLEARING LIMITS SHOWN ON THESE PLANS, THE APPLICANT MUST SUBMIT A REVISION TO THE CLEARING AND GRADING PERMIT THAT INDICATES THE LOCATION OF THE NEW CLEARING LIMITS.

TRANSPORTATION DEPARTMENT CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BELLEVUE DESIGN MANUAL, APPLICABLE CITY CODES, AND THE 2008 WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE LATEST EDITION OF THE CITY OF BELLEVUE DESIGN MANUAL. THIS APPROVAL IS SUBJECT TO FIELD INSPECTION; OVERSIGHT OR VIOLATION OF CITY ORDINANCES IS NOT INCLUDED IN THIS APPROVAL. VARIANCES TO THESE STANDARDS ARE BY APPROVAL OF THE TRANSPORTATION DEPARTMENT REVIEW ENGINEER AND INSPECTOR.
3. APPROVAL OF THIS ROAD, GRADING, AND/OR DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G., DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.).

CLEARING AND GRADING STANDARD NOTES:

1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23), DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES AND GEOGRID REINFORCED MODULAR BLOCK WALLS, MUST BE STAMPED BY A PROFESSIONAL ENGINEER.
2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
4. THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING AND GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.
5. A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING AND GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.
6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING & GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED.
7. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ARE REQUIRED.
 - PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR.
 - PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR.
 - INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
 - INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ONSITE.
10. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.
11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
12. A PUBLIC INFORMATION SIGN LISTING 24-HOUR EMERGENCY PHONE NUMBERS FOR THE CITY AND THE CONTRACTOR MAY BE PROVIDED TO THE APPLICANT AT THE TIME THE CLEARING & GRADING PERMIT IS ISSUED. THE APPLICANT MUST POST THE SIGN AT THE PROJECT SITE IN FULL VIEW OF THE PUBLIC AND THE CONTRACTORS, AND IT MUST REMAIN POSTED UNTIL FINAL SIGN-OFF BY THE CLEARING & GRADING INSPECTOR.
13. TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING AND GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING AND GRADING INSPECTOR.
14. ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING AND GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.093A OF THE CLEARING AND GRADING CODE.

MATERIALS AT JOB SITE:

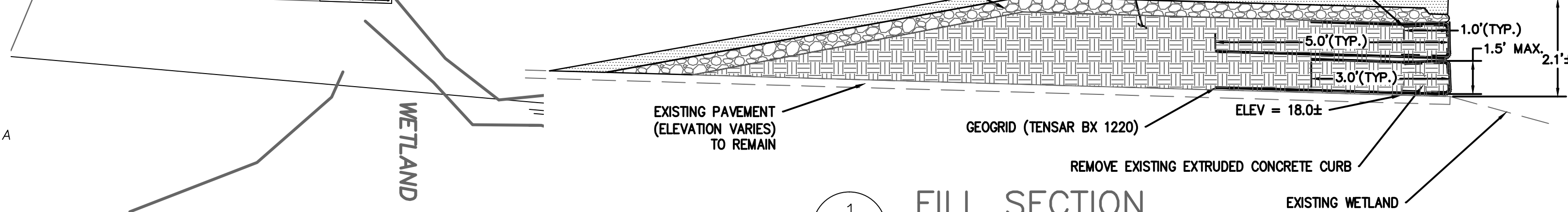
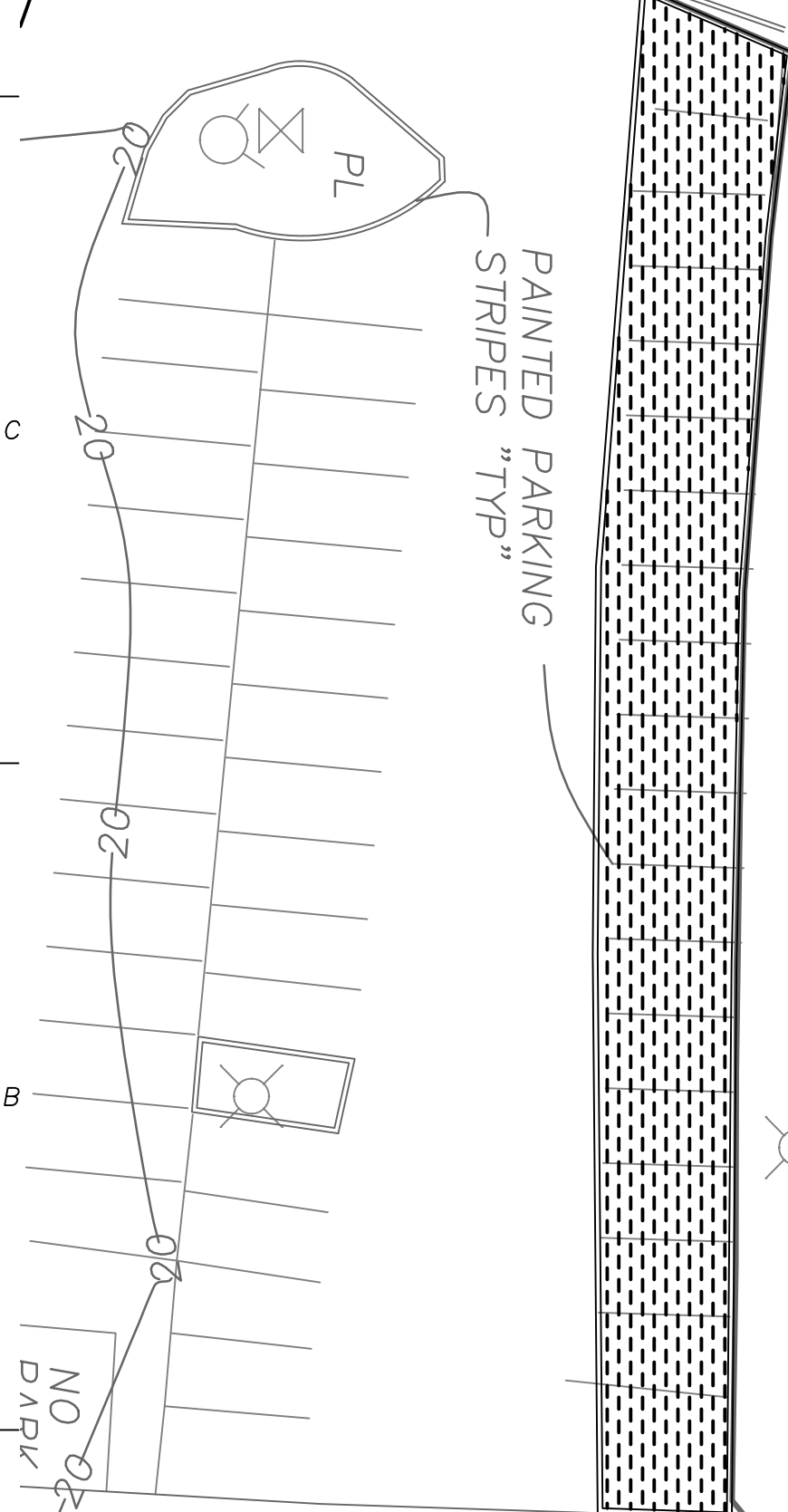
1. CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY DPD BEFORE ANY EARTH DISTURBANCE. CALL (206) 684-8860 TO SCHEDULE AN INSPECTION FOR THIS ITEM.
2. NO SEDIMENT SHALL BE TRACKED ONTO PAVED STREETS OR ROADWAYS. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT BEFORE LEAVING THE CONSTRUCTION SITE. IN THE EVENT OF FAILURE OF THE TESC SYSTEM RESULTING IN SEDIMENT TRACKING ONTO PAVEMENT, THE CONTRACTOR SHALL IMPLEMENT MEASURES IMMEDIATELY TO CORRECT THE SITUATION.
3. THE CONTRACTOR SHALL EMPLOY EMERGENCY MEASURES TO REMOVE SEDIMENT FROM PAVED SURFACES, AS NEEDED. STREET SWEEPING SHALL BE CONSIDERED AN EMERGENCY MEASURE AND NOT A BASIC COMPONENT OF THE TESC SYSTEM. SEDIMENT TRACKED ONTO PAVED SURFACES SHALL NOT BE WASHED INTO STORM DRAINS OR OTHER UTILITY INLETS.

DWG. INDEX:
X

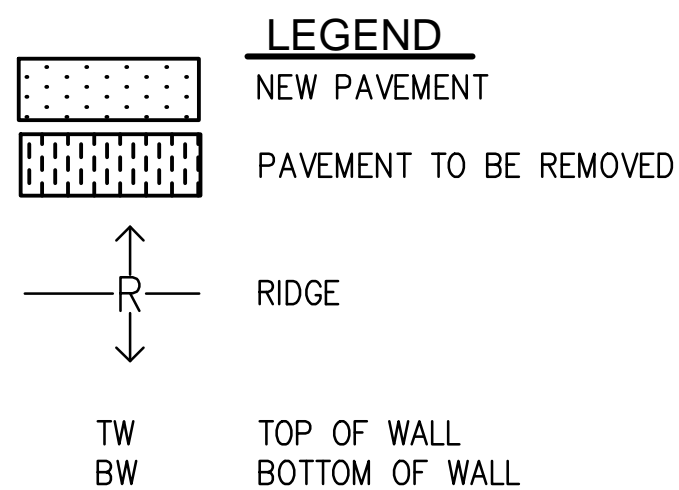
CONSTRUCTION SEQUENCE:

1. CONTACT THE CITY OF BELLEVUE STREET USE SECTION AND SCHEDULE A PRECONSTRUCTION MEETING.
2. NOTE: THE INTENT OF THESE EROSION CONTROL PLANS IS TO RETAIN ALL CONSTRUCTION STORMWATER ON-SITE.
3. AN ESC SUPERVISOR MUST BE OBTAINED PRIOR TO CLEARING AND GRADING. THE ESC SUPERVISOR SHALL INSPECT THE SITE WEEKLY DURING THE WET SEASON AND MONTHLY DURING THE DRY SEASON. INSPECTIONS SHALL ALSO BE CONDUCTED AFTER A STORM EVENT OF 0.5 INCHES OF RAINFALL WITHIN A 24 HOUR PERIOD. THE ESC SUPERVISOR SHALL INSPECT THE CLEARING LIMITS, COVERING, PERIMETER PROTECTION, SEDIMENT RETENTION, SURFACE WATER CONTROL, TRAFFIC AREA STABILIZATION, TRACKING OF MUD, AND DUST CONTROL.
4. INSTALL FILTER FABRIC FENCE, AND OTHER T.E.S.C. MEASURES AS INDICATED ON THE EROSION CONTROL PLAN.
5. POST NOTICE OF ACTIVITY SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR.
6. INSTALL TEMPORARY CONSTRUCTION ENTRANCE(S).
7. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE. THESE MEASURES SHALL BE REPAIRED TO THEIR ORIGINAL DESIGN CONDITION.
8. RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE BELLEVUE EROSION AND SEDIMENT CONTROL STANDARDS.
9. DURING THE CONSTRUCTION PERIOD, ANY AND ALL POLLUTANTS OTHER THAN SEDIMENT WHICH ARE USED ON SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE CONTAMINATION OF STORMWATER.
10. FINAL GRADE AND PAVE SITE.
11. REMOVE ALL EROSION CONTROL MEASURES WHEN ENTIRE SITE IS STABILIZED. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED AREAS RESULTING FROM SEDIMENT REMOVAL SHALL BE PERMANENTLY STABILIZED.
12. FINAL INSPECTION.

MATCHLINE-SEE RIGHT
FOR CONTINUATION



1
NO SCALE



LEGEND
NEW PAVEMENT
PAVEMENT TO BE REMOVED
RIDGE
TW
BW
TOP OF WALL
BOTTOM OF WALL

PLAN
SCALE: 1"=20'

CLEARING &
GRADING: _____ GD

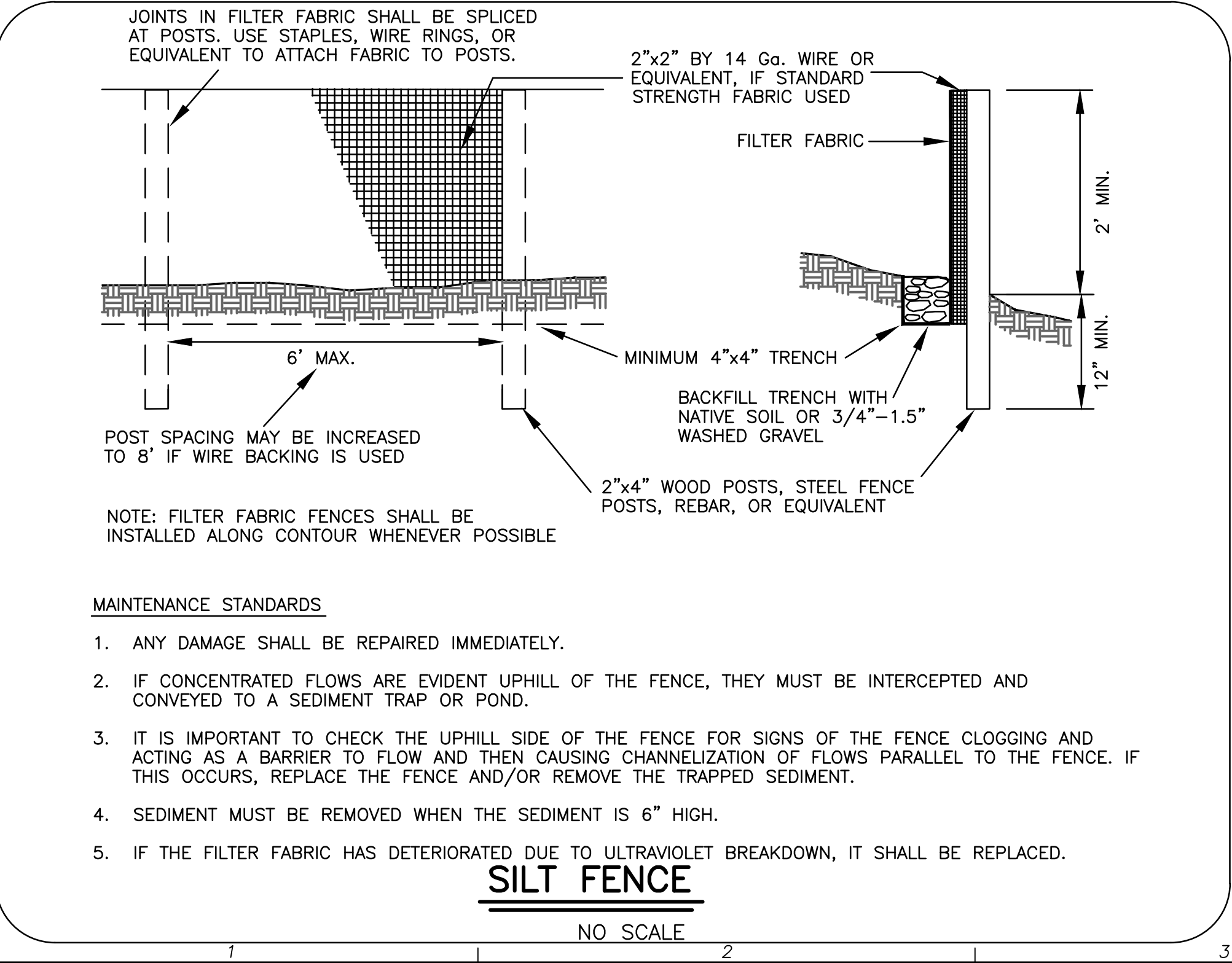
Call 2 Working Days Before You Dig
1-800-424-5555
Utilities Underground Location Center
(D.M.T.N.D.O.R.W.A.)

SHEET
C1.1

Reviewed By: David Pyle 12/27/12

EROSION NOTES:

3. APPROVAL OF THE DRAINAGE AND TEMPORARY EROSION CONTROL MEASURES DOES NOT INCLUDE APPROVAL OF THE GRADING SHEET HEREIN. GRADING ACTIVITIES WITHIN THE RIGHT-OF-WAY REQUIRE A STREET USE PERMIT FROM THE STREET USE SECTION. GRADING ACTIVITIES ON ADJACENT PROPERTIES REQUIRE WRITTEN APPROVAL FROM THE PROPERTY OWNER.
2. THE IMPLEMENTATION OF THESE T.E.S.C.P. PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THE T.E.S.C.P. FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE T.E.S.C.P. FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE T.E.S.C.P. FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE T.E.S.C.P. FACILITIES SHALL BE UPGRADED (e.g. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS AND AS THE CITY REQUIRES.
6. THE T.E.S.C.P. FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING AND OPERATION.
7. THE T.E.S.C.P. FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT AND AS THE CITY DEEMS NECESSARY.
8. STABILIZED CONSTRUCTION ENTRANCES PER CITY STANDARDS, SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURE WILL BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES WILL BE APPLIED AT AN APPROXIMATE RATE OF (e.g. ANNUAL OR PERENNIAL RYE) 80 POUNDS PER ACRE. ALL EXPOSED EARTH SURFACES SHALL BE LANDSCAPED WITH SUITABLE VEGETATION TO PREVENT EROSION FOR THE PERMANENT CONDITION.
10. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 3 INCHES OR 3,000 POUNDS PER ACRE.
11. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE AND AS THE CITY REQUIRES, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE T.E.S.C.P. MEASURES WILL BE NECESSARY TO PROTECT ADJACENT PROPERTIES AND ENSURE MINIMUM WATER QUALITY FOR SITE RUNOFF AND INCLUDE THE COST OF THE ADDITIONAL MEASURES IN THE BID AMOUNT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS DEFICIENT T.E.S.C.P. CONDITIONS AND PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS OUTLINED ON THE APPROVED PLANS.
12. CATCH BASINS IN THE STREET SHALL BE INSPECTED DAILY BY THE CONTRACTOR. WATER LEAVING THE SITE DURING CONSTRUCTION, INCLUDING WATER CARRIED BY TRUCK TIRES, SHALL BE CLEAN. THE CONTRACTOR SHALL CLEAN CITY CATCH BASINS AND IMPLEMENT EXTRA SEDIMENTATION CONTROL METHODS IF NECESSARY AND AS DIRECTED BY THE CITY INSPECTORS.
13. CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY BELLEVUE PRIOR TO ANY EARTH DISTURBANCE. CALL 206/684-8860 TO SCHEDULE AN INSPECTION APPOINTMENT FOR THIS ITEM.
14. NO SEDIMENT SHALL BE TRACKED ONTO PAVED STREETS OR ROADWAYS. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE CONSTRUCTION SITE. STREET SWEEPING SHALL BE CONSIDERED AN EMERGENCY MEASURE AND NOT A BASIC COMPONENT OF THE TESC SYSTEM.
15. A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN OWNER'S REPRESENTATIVES (GEOTECHNICAL SPECIAL INSPECTOR, GENERAL CONTRACTOR, AND EXCAVATION CONTRACTOR) AND INSPECTOR.
16. FROM OCTOBER 1 TO APRIL 30, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30 NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZE ALL SOILS, INCLUDING STOCKPILES THAT ARE TEMPORARILY EXPOSED. USE ONE OF THE FOLLOWING TO TEMPORARILY STABILIZE SOILS, INCLUDING STOCKPILES: E1.10 TEMPORARY SEEDING & MULCHING, E1.15 MATTING/ROLLED EROSION CONTROL PRODUCTS, E1.20 PLASTIC COVERING OR E2.20 DUST CONTROL. ALL AREAS OF CONTAMINATED SOIL SHALL BE STABILIZED AND COVERED AT THE END OF EACH WORK SHIFT.
17. AFTER CONSTRUCTION BUT BEFORE PROJECT IS CONSIDERED COMPLETED, PERMANENTLY STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION. USE ONE OF THE FOLLOWING TO PERMANENTLY STABILIZED SOILS: E1.35 PERMANENT SEEDING OR PLANTING, E1.40 SODDING.
18. USE ONE OF THE FOLLOWING TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE SITE: E3.10 FILTER FENCE, E3.15 STRAW BALE BARRIER, E3.20 BRUSH BARRIER, E3.25 GRAVEL FILTER BERM, E3.40 SEDIMENT POND OR E3.35 SEDIMENT TRAP. SANDBAGS MAY ALSO BE UTILIZED TO PREVENT SEDIMENT FROM BEING DISCHARGED OFFSITE. RETAINING NATURAL VEGETATION AND BUFFER ZONES ARE ENCOURAGED, BUT MAY NOT BE USED AS A SUBSTITUTE.
19. PREVENT SEDIMENT FROM ENTERING ALL STORM DRAINS, INCLUDING DITCHES THAT RECEIVE RUNOFF FROM THE DISTURBED AREA, BY INSTALLING STORM DRAIN INLET INSERTS, USING SANDBAGS AND VACUUMING SEDIMENT FROM IMPERVIOUS SURFACES.
20. DURING CONSTRUCTION, PREVENT THE INTRODUCTION OF POLLUTANTS IN ADDITION TO SEDIMENT INTO STORMWATER. COMPLY WITH THE REQUIREMENTS FOR EACH OF THE FOLLOWING CONSTRUCTION RELATED ACTIVITIES: C1.10 PESTICIDE CONTROL, C1.20 HANDLING PETROLEUM PRODUCTS, C1.30 NUTRIENT APPLICATION, C1.40 SOLID WASTE HANDLING/DISPOSAL OR C1.50 USE OF CHEMICALS DURING CONSTRUCTION.
21. IN ORDER TO PREVENT TRACKING, TRUCKS SHALL BE LOADED FROM A DESIGNATED LOADING AREA AND NOT ENTER THE EXCAVATION AREA. ANY SPILLS THAT OCCUR IN THE LOADING AREA SHALL BE SHOVELED OR SWEEP CLEAN.
22. INSPECT AND MAINTAIN REQUIRED EROSION CONTROLS TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.



ALTERNATIVE BMPs (AS NEEDED FOR WEATHER CONDITIONS)

- PLASTIC SHEETING
- COMPOSTING
- MULCHING
- WETTING (DUST CONTROL)
- BAKER TANKS
- FILTRATION SYSTEM

LEGEND
CONSTRUCTION LIMITS
SILT FENCE

CLEARING &
GRADING: ____-____ GD



DWG. INDEX:
X

1. EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

2. IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS, OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR THE OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING. (WSDOT SECTION 1-04.7).

3. THE CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UNDERGROUND LOCATION CENTER THEN THE CONTRACTOR SHALL GIVE INDIVIDUAL NOTICE TO THAT UTILITY. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT).

4. THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS AND EXERCISE SOUND ENGINEERING AND CONSTRUCTION PRACTICES IN CONDUCTING THE WORK. THE CONTRACTOR SHALL PROTECT EXISTING PUBLIC AND PRIVATE UTILITIES FROM DAMAGE DURING CONSTRUCTION. IF EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ENGINEER. THE CONTRACTOR SHALL RESTORE THE UTILITY TO ITS EXISTING CONDITION. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT). THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION FOR DESIGNS SHOWN ON THESE PLANS.

5. WHERE THE PLANS CALL FOR UTILITIES TO BE RELOCATED BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AND COORDINATE HIS WORK SO AS TO AVOID CONFLICTS.

6. ALL EXCAVATION, TRENCHING, SUBGRADE PREPARATION, FILL PLACEMENT AND COMPACTION AND ALL SOIL WORK IN GENERAL SHALL BE CONDUCTED IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PROJECT SOIL ENGINEER AND THE CURRENT GEOTECHNICAL ENGINEERING REPORT.

7. ENGINEERING DESIGN AND APPROVAL FOR STRUCTURES SUCH AS WALLS AND VAULTS MUST BE PREPARED BY THE APPROPRIATE PROFESSIONAL ENGINEER AND IS NOT A PART OF THESE PLANS.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING PROFESSIONAL LAND SURVEYOR TO REFERENCE EXISTING MONUMENTS ON OR ADJOINING SITE PREVIOUS TO DEMOLITION OR CONSTRUCTION AND TO BE RE-ESTABLISH SAID POINTS AT PROJECT COMPLETION. THIS RE-ESTABLISHMENT SHALL BE DOCUMENTED BY RECORD OF SURVEY OR CORNER RECORD AS DESCRIBED IN W.A.C. 332-120.

BELLEFIELD OFFICE COMPLEX

- 2013 PAVEMENT REPAIR

GENERAL ENGINEERING NOTES

- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS, OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR THE OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING. (WSDOT SEC 1-04.7).
- THE CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE INDIVIDUAL NOTICE TO THAT UTILITY. (WSDOT SEC. 1-07.17 APWA SUPPLEMENT.).
- THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS AND EXERCISE SOUND ENGINEERING AND CONSTRUCTION PRACTICES IN CONDUCTING THE WORK. THE CONTRACTOR SHALL PROTECT EXISTING PUBLIC AND PRIVATE UTILITIES FROM DAMAGE DURING CONSTRUCTION. IF EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ENGINEER. THE CONTRACTOR SHALL RESTORE THE UTILITY TO ITS EXISTING CONDITION. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT.) THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION FOR DESIGNS SHOWN ON THESE PLANS.
- WHERE THE PLANS CALL FOR UTILITIES TO BE RELOCATED BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AND COORDINATE HIS WORK SO AS TO AVOID CONFLICTS.
- ALL EXCAVATION, TRENCHING, SUBGRADE PREPARATION, FILL PLACEMENT AND COMPACTION AND ALL SOIL WORK IN GENERAL SHALL BE CONDUCTED IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PROJECT SOIL ENGINEER AND THE CURRENT GEOTECHNICAL ENGINEERING REPORT.
- ENGINEERING DESIGN AND APPROVAL FOR STRUCTURES SUCH AS WALLS AND VAULTS MUST BE PREPARED BY THE APPROPRIATE PROFESSIONAL ENGINEER AND IS NOT A PART OF THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A PROFESSIONAL LAND SURVEYOR TO REFERENCE EXISTING MONUMENTS ON OR ADJOINING THE SITE PRIOR TO DEMOLITION OR CONSTRUCTION AND TO RE-ESTABLISH SAID POINTS AT PROJECT COMPLETION. THIS RE-ESTABLISHMENT SHALL BE DOCUMENTED BY RECORD OF SURVEY OR CORNER RECORD AS DESCRIBED IN W.A.C. 332-120.
- A SUBCONTRACTOR SPECIALIZING IN OIL TANK REMOVAL WILL BE HIRED TO REMOVE THE EXISTING ON-SITE OIL TANKS AND ADDRESS ANY CONTAMINATED SOILS OR GROUNDWATER. IF CONTAMINATED SOILS OR GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR WILL NOTIFY THE CITY OF BELLEVUE AND APPLY FOR A PERMIT UNDER THE VOLUNTARY CLEANUP PROGRAM, FROM THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, TO CLEANUP THE CONTAMINATION. CONTAMINATED SOILS WOULD BE EXPORTED TO AN ECOLOGY APPROVED WASTE SITE AS HANDLED BY THE CONTRACTOR. CONTAMINATED GROUNDWATER WOULD BE DISCHARGED TO THE SANITARY SEWER AS APPROVED BY THE CITY OF BELLEVUE AND METRO OR REMOVED BY A HAZARDOUS WASTE HANDLING COMPANY.

STORM GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS AT LEAST 1 FOOT BELOW THE FOOTING DRAINAGE SYSTEM AND DOWN SLOPE OF THE BUILDING FOUNDATION.
- PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
- PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURE SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, (SUCH AS RUBBLE, MORTAR AND WEDGED DEBRIS), SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
- ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE SHALL BE CAPPED AND LOCATED WITH AN 8" LONG 2" X 4" BOARD, EMBEDDED TO THE STUB CAP AND EXTENDING AT LEAST 3 FEET ABOVE GRADE, AND MARKED PERMANENTLY "STORM". A COPPER 12 GA. LOCATE WIRE FIRMLY ATTACHED. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
- ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURB LINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING SOLID COVERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOCKING SOLID COVERS.
- VEGETATION/LANDSCAPING IN THE DETENTION POND AND/OR DRAINAGE SWALE(S) ARE AN INTEGRAL PART OF THE RUNOFF TREATMENT SYSTEM FOR THE PROJECT. SUCH DRAINAGE FACILITIES WILL NOT BE ACCEPTED UNTIL PLANTING IS COMPLETE.

UTILITY PROVIDERS

WATER:
CITY OF BELLEVUE DEPARTMENT OF COMMUNITY DEVELOPMENT
11511 MAIN STREET BELLEVUE, WA 98009-9012
PHONE: (425) 452-6864

SANITARY SEWER:
CITY OF BELLEVUE DEPARTMENT OF COMMUNITY DEVELOPMENT
11511 MAIN STREET BELLEVUE, WA 98009-9012
PHONE: (425) 452-6864

STORM DRAINAGE:
CITY OF BELLEVUE DEPARTMENT OF COMMUNITY DEVELOPMENT
11511 MAIN STREET BELLEVUE, WA 98009-9012
PHONE: (425) 452-6864

POWER:
PUGET SOUND ENERGY
13230 SE 32ND STREET BELLEVUE, WA 98005
CONTACT: MYLISSA TYKZSINSKI
PHONE: (206) 454-6363, EXT. 816224

NATURAL GAS:
PUGET SOUND ENERGY
13230 SE 32ND STREET BELLEVUE, WA 98005
CONTACT: MYLISSA TYKZSINSKI
PHONE: (206) 454-6363, EXT. 816224

TELEPHONE:
QWEST
14808 SE 16TH STREET BELLEVUE, WA. 98007
CONTACT: AARON WILLIAMS
PHONE: (206) 345-3961

STREET LIGHTING/SIGNAL:
CITY OF BELLEVUE TRANSPORTATION DEPARTMENT
301 116TH AVENUE SE #150 BELLEVUE, WA 98004
CONTACT:
PHONE: (425) 452-6011

ARCHITECT
JPC ARCHITECTS
909 112TH AVE NE, SUITE 206
BELLEVUE, WA. 98004
CONTACT: JASON ANDERSEN
425-641-9200 EXT - 370

DEVELOPER
TALON PRIVATE CAPITAL LLC
1800 NINTH AVE, SUITE 1600
SEATTLE, WA. 98101
CONTACT: CHARLIE FOUSHEE
206-607-2572

SURVEYOR
GEODIMENSIONS INC
10801 MAIN STREET, SUITE 102
BELLEVUE, WA. 98104
CONTACT: KEN GREEN
425-458-4488

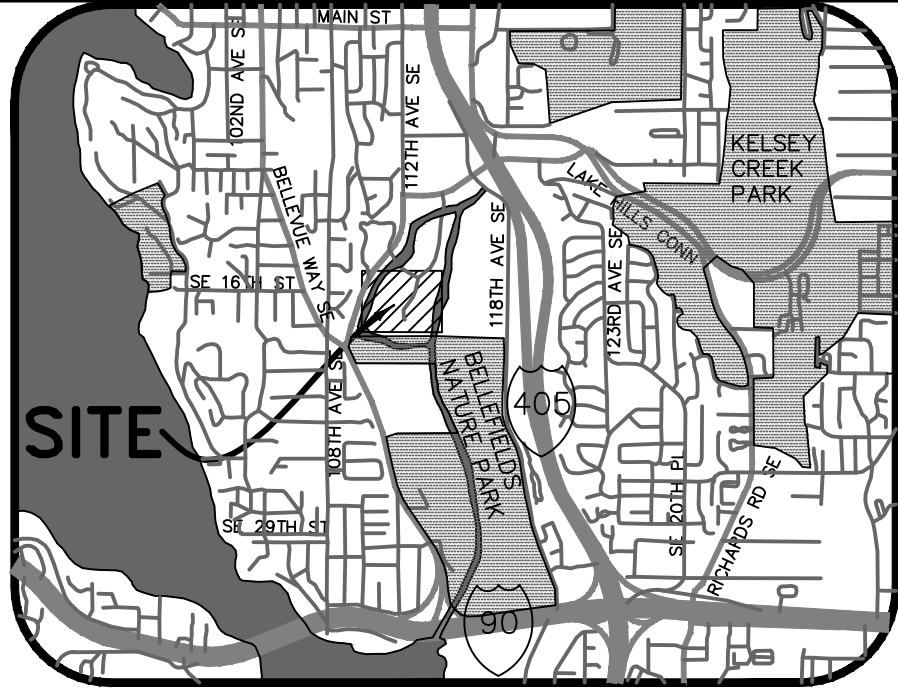
ENGINEER
DECKER CONSULTING
ENGINEERS
911 WESTERN AVE. SUITE 301
SEATTLE, WA 98104
CONTACT: JAY DECKER
PHONE: (206) 403-0933

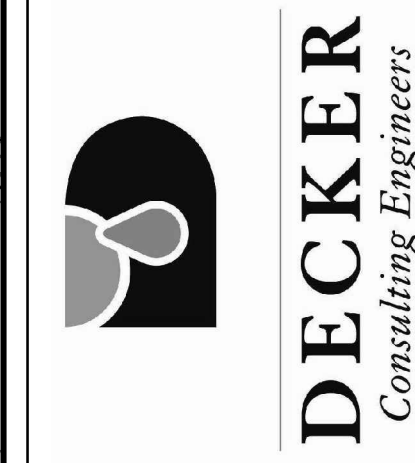
SITE ADDRESS
1687 114TH AVE. SE
BELLEVUE, WA

DATUM
NAVD 88

MATERIALS AT JOB SITE:

- CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY DPD BEFORE ANY EARTH DISTURBANCE. CALL (206) 684-8860 TO SCHEDULE AN INSPECTION FOR THIS ITEM.
- NO SEDIMENT SHALL BE TRACKED ONTO PAVED STREETS OR ROADWAYS. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT BEFORE LEAVING THE CONSTRUCTION SITE. IN THE EVENT OF FAILURE OF THE TESC SYSTEM RESULTING IN SEDIMENT TRACKING ONTO PAVEMENT, THE CONTRACTOR SHALL IMPLEMENT MEASURES IMMEDIATELY TO CORRECT THE SITUATION.
- THE CONTRACTOR SHALL EMPLOY EMERGENCY MEASURES TO REMOVE SEDIMENT FROM PAVED SURFACES, AS NEEDED. STREET SWEEPING SHALL BE CONSIDERED AN EMERGENCY MEASURE AND NOT A BASIC COMPONENT OF THE TESC SYSTEM. SEDIMENT TRACKED ONTO PAVED SURFACES SHALL NOT BE WASHED INTO STORM DRAINS OR OTHER UTILITY INLETS.

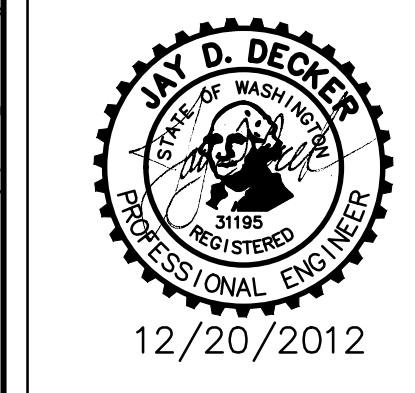




WASHINGTON
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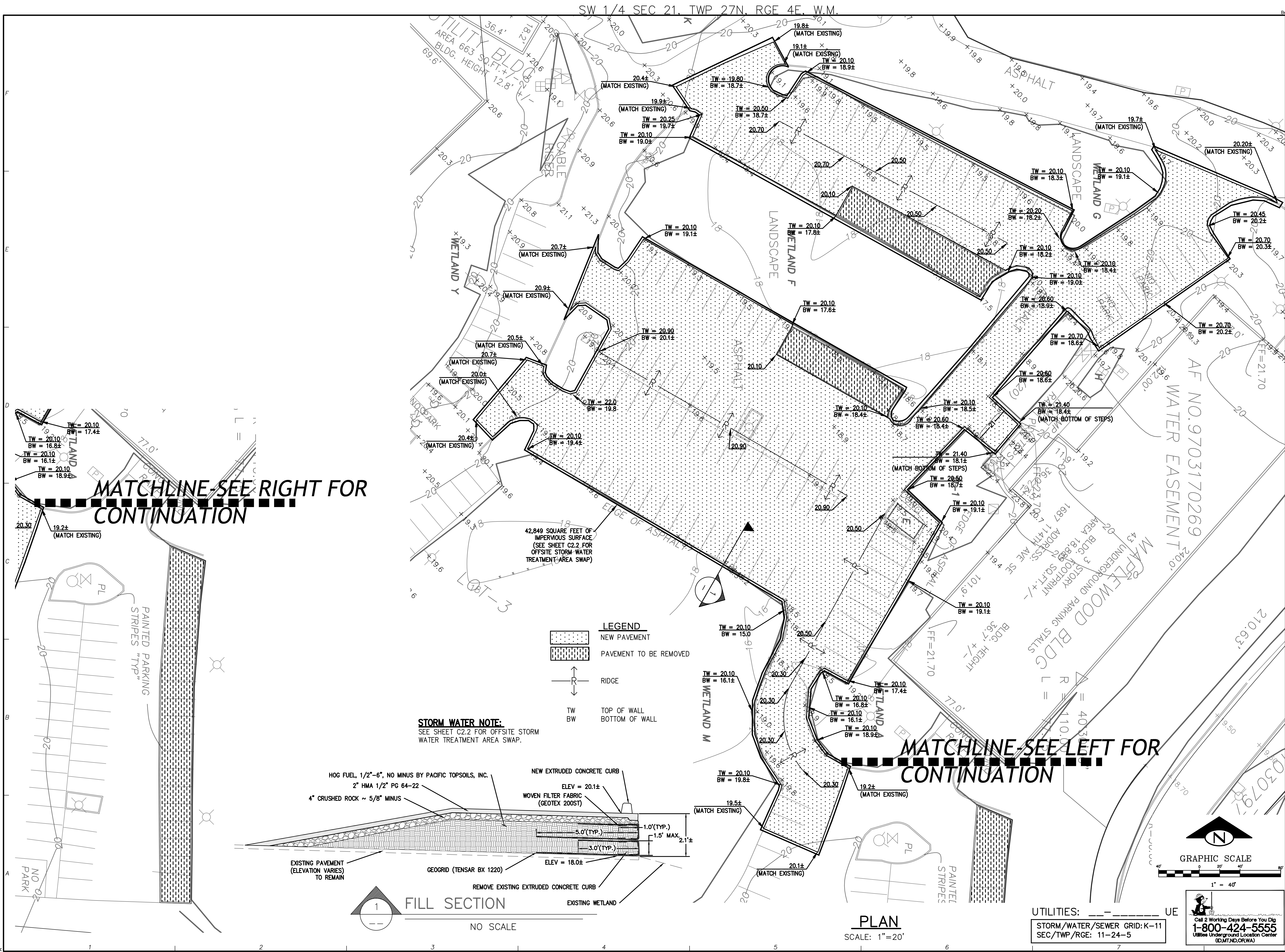
TALON PRIVATE CAPITAL, LLC.
UTILITY PLAN
GRADING PLAN

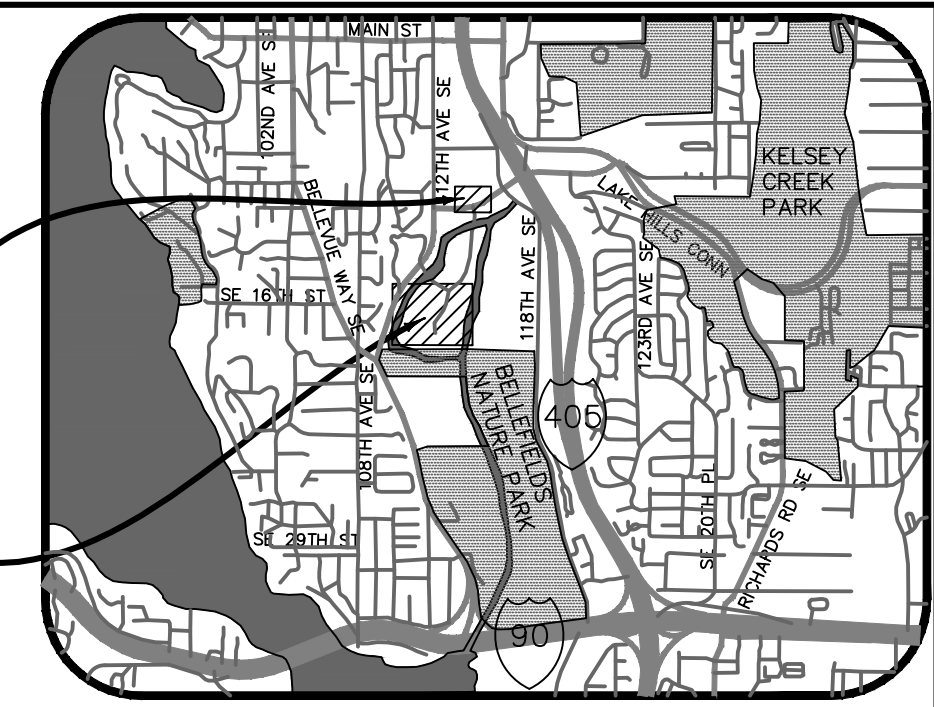
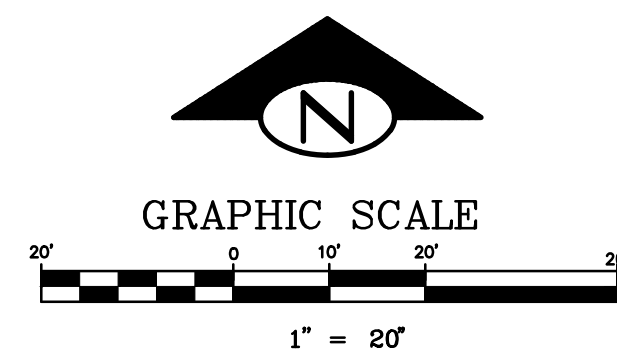
PROJECT NO. 2012023
SCALE: 1" = 10'



DESIGNED BY:	JDD	CHECKED BY:	JDD
DRAWN BY:	PEG	APPROVED BY:	JDD
DATE:		REVISION:	
BY:	REV#	DATE:	

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DECKER
Consulting Engineers

IT PLAN

WASHINGTON

DRAWING FILE NAME:

TALON PRIVATE CAPITAL, LLC.

UTILITY PLAN

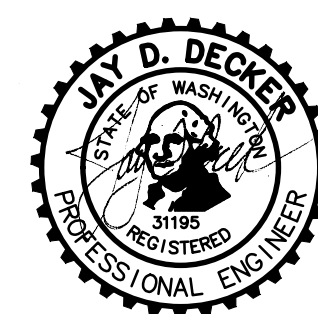
STORM WATER TREATMENT PLAN

DRAWING FILE NAME:

PROJECT NO.

SEATTLE

SCALE:



12/20/2012

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C2.2

Reviewed By: David Pyle 12/27/12

